

775 MCCURDY RD

775 MCCURDY RD, KELOWNA, BC, V1X 2P8
LOT 3, DISTRICT LOT 143, PLAN KAP22014



ISSUED FOR REZONING & DEVELOPMENT PERMIT:

2023-06-27

ARCHITECTURAL

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A2.01	SITE PLAN & ZONING
A3.01	LEVEL 1 PLAN
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DESIGN RATIONALE

Dear community planners,

As part of our development application I am writing to you to share our rationale for this project.

DEVELOPMENT PERMIT + REZONING:

The current lot, as it currently exists, is very large. Approximately 24m (78') wide x 36m (118') deep, and just shy of 0.4acres. There is an existing mobile home with attached garage on the lot, that will be removed to accommodate a new 2 storey 4-plex. The proposal is to rezone the RU1 lot to MF1 to facilitate the development. The property is within the Permanent Growth Boundary (PGB), within the Core Area, and meets the city's vision for increased density. The 4 plex will meet the proposed bylaw requirements for MF1 with no variances, and will allow for future road widening along McCurdy.

Each unit will be 2 storeys in height, approximately 2,000SF (190sm) in size, 4 bed, 3 .5 bath, and a single car attached garage. The access for parking will be from a driveway off of Franklyn rd. The proposed development considers a 1.0m road dedication along Franklyn and a 5.0m road dedication along McCurdy; donated to the city of Kelowna to accommodate future road expansion. If rezoning is approved, the townhomes will be available for purchase.



PRECEDENCE:
Across the street on the north side of McCurdy there is a MF2 zoned parcel that accommodates 4-plex units. The address is 550 to 590 McCurdy.

The Proposed MF1 development will be less dense than this development.



REZONE TO MF1

APPLICANT - BALWINDER TAKHAR - btakhar2@gmail.com

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01	2022-10-25	ISSUED FOR REZONING / DEVELOPMENT PERMIT
02	2023-01-18	ISSUED FOR REZONING / DEVELOPMENT PERMIT
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Project Title
775 MCCURDY

Drawing Title
COVER SHEET,
DRAWING LIST &
DESIGN RATIONALE

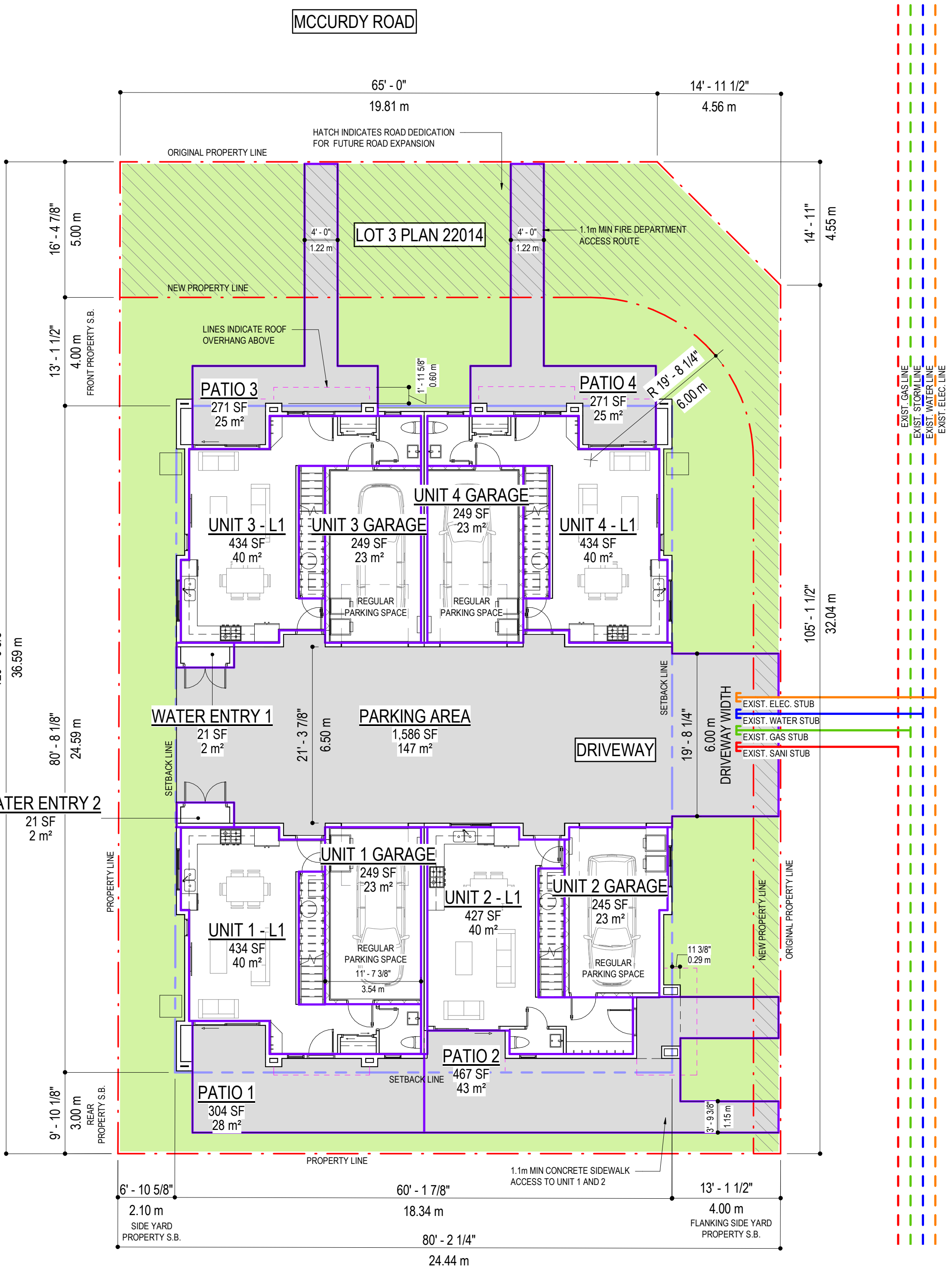
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Drawing Number

A0.00

Job No. 18 - 1816

Scale



SITEPLAN NOTES:
1. SURVEY INFO TO BE VERIFIED PRIOR TO CONSTRUCTION.

TOTAL GARAGE AREA

Name	Area	Area (SM)
UNIT 1 GARAGE	249 SF	23.1 m²
UNIT 2 GARAGE	245 SF	22.8 m²
UNIT 3 GARAGE	249 SF	23.1 m²
UNIT 4 GARAGE	249 SF	23.1 m²
TOTAL	991 SF	92.1 m²

PARCEL SIZE

Name	Area	Area (SM)
ORIGINAL PARCEL SIZE	9,499 SF	882.5 m²
NEW PARCEL SIZE	7,874 SF	731.5 m²
TOTAL	17,374 SF	1,614.1 m²

PARKING AND PATIO AREA

Name	Area	Area (SM)
PARKING AREA	1,586 SF	147.4 m²
PATIO 3	271 SF	25.2 m²
PATIO 4	271 SF	25.2 m²
PATIO 1	304 SF	28.2 m²
PATIO 2	467 SF	43.3 m²
TOTAL	2,898 SF	269.2 m²

TOTAL BUILDING AREA

Name	Area	Area (SM)
UNIT 1 - L1	434 SF	40.3 m²
UNIT 1 - L2	649 SF	60.3 m²
UNIT 2 - L1	427 SF	39.7 m²
UNIT 2 - L2	649 SF	60.3 m²
UNIT 3 - L1	434 SF	40.3 m²
UNIT 3 - L2	649 SF	60.3 m²
UNIT 4 - L1	434 SF	40.3 m²
UNIT 4 - L2	649 SF	60.3 m²
WATER ENTRY 1	21 SF	1.9 m²
WATER ENTRY 2	21 SF	1.9 m²
TOTAL	4,366 SF	405.6 m²

TOTAL AREA - PER UNIT

Name	Area	Area (SM)
UNIT 1 - L1	434 SF	40.3 m²
UNIT 1 - L2	649 SF	60.3 m²
UNIT 1 GARAGE	249 SF	23.1 m²
TOTAL	1,332 SF	123.7 m²

ZONING SUMMARY 775 MCCURDY

ADDRESS	775 MCCURDY RD, KELOWNA, BC, V1X 2P8	
LEGAL DESCRIPTION	LOT 3, DISTRICT LOT 143, PLAN KAP22014	
DEVELOPMENT PERMIT AREA	N/A	
EXISTING ZONING	RU1	
PROPOSED ZONING	MF1	
EXISTING LEGAL USE	SINGLE FAMILY HOME	
PROPOSED LEGAL USE	4 UNITS - TWO DUPLEX BUILDINGS	

ZONING REQUIREMENTS MAIN BUILDING

	ZONING STANDARD	PROPOSED
FRONT SETBACK	4.0m	4.0m
FLANKING SIDEYARD SETBACK	4.0m	4.0m
SIDE SETBACK	2.1m (lots wider than 17.0m)	2.1sm
REAR SETBACK	3.0m	3.0m
PARCEL SIZE	350 SM	731.5 SM (7,874 SF)
BUILDING HEIGHT	8.0m or 2 storeys	7.01m +/-
LEVEL 1 PARCEL COVERAGE AREA	485.38 SM (55%)	275.6 SM
TOTAL PARCEL COVERAGE %	55%	31.23%
TOTAL PARKING COVERAGE %	-	27.44%
TOTAL COMBINED COVERAGE %	75%	58.67%
TOTAL OCCUPIED FLOOR AREA	-	405.6sm (4,336 SF)
FLOOR AREA RATIO (FAR)	0.6	0.55

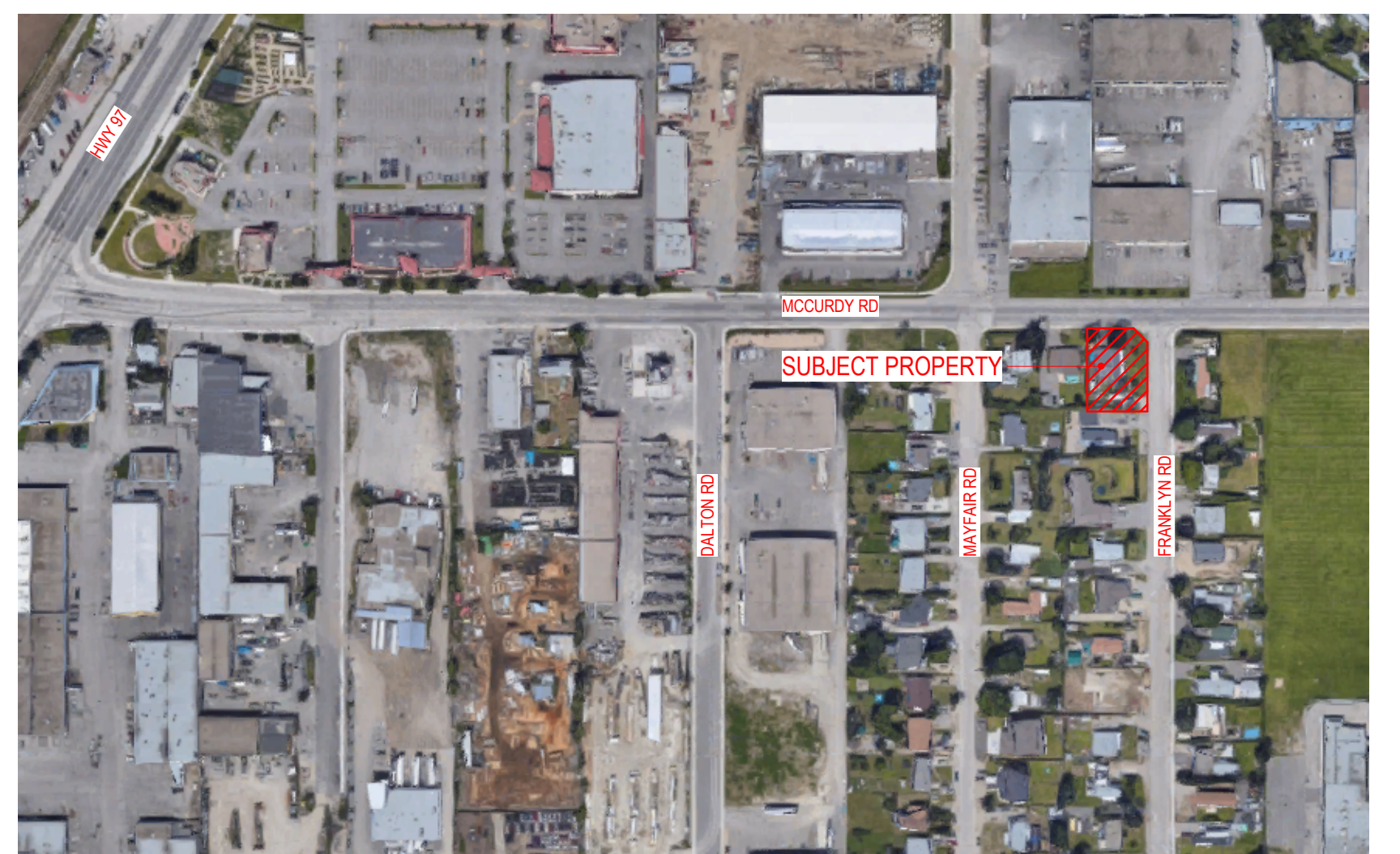
PARKING REQUIREMENTS MAIN BUILDING

NOTES:
1. PARKING STALL CALCULATIONS (PER 8.2.13 CoK BYLAW)
A. ANY FRACTION LESS THAN 0.5 ROUNDS DOWN
B. ANY FRACTION GREATER THAN 0.5 ROUNDS UP

	ZONING STANDARD	PROPOSED
# OF SPACES (3 BEDROOM UNITS)	4 SPACES	4 SPACES
# OF VISITOR STALLS	N/A FOR MF1 WITH 4 UNITS	-
# OF ACCESSIBLE SPACES	1 SPACE	1 SPACE
TOTAL # OF SPACES	4 SPACES	4 SPACES
% OF REGULAR CAR SPACES	0%	4 SPACES (100%)
% OF SMALL CAR SPACES	100%	-
SIZE OF REGULAR VEHICLE	6.0m x 2.5m x 2.0m H	-
SIZE OF SMALL VEHICLE	4.8m x 2.3m x 2.0m H	-
SIZE OF ACCESSIBLE VEHICLE	6.0m x 3.7m x 2.3m H	-

AMENITY AREA MAIN BUILDING

	ZONING STANDARD	PROPOSED
AMENITY SPACE (1 BEDROOM +)	N/A	+/-20 SM / UNIT
COMMON AMENITY SPACE	N/A	-



1 LEVEL 1 - SITE PLAN
A2.01 1" = 10'-0"

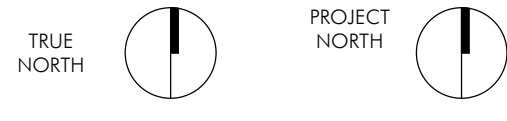


REZONE TO MF1

APPLICANT - BALWINDER TAKHAR - btakhar2@gmail.com

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Drawing Title

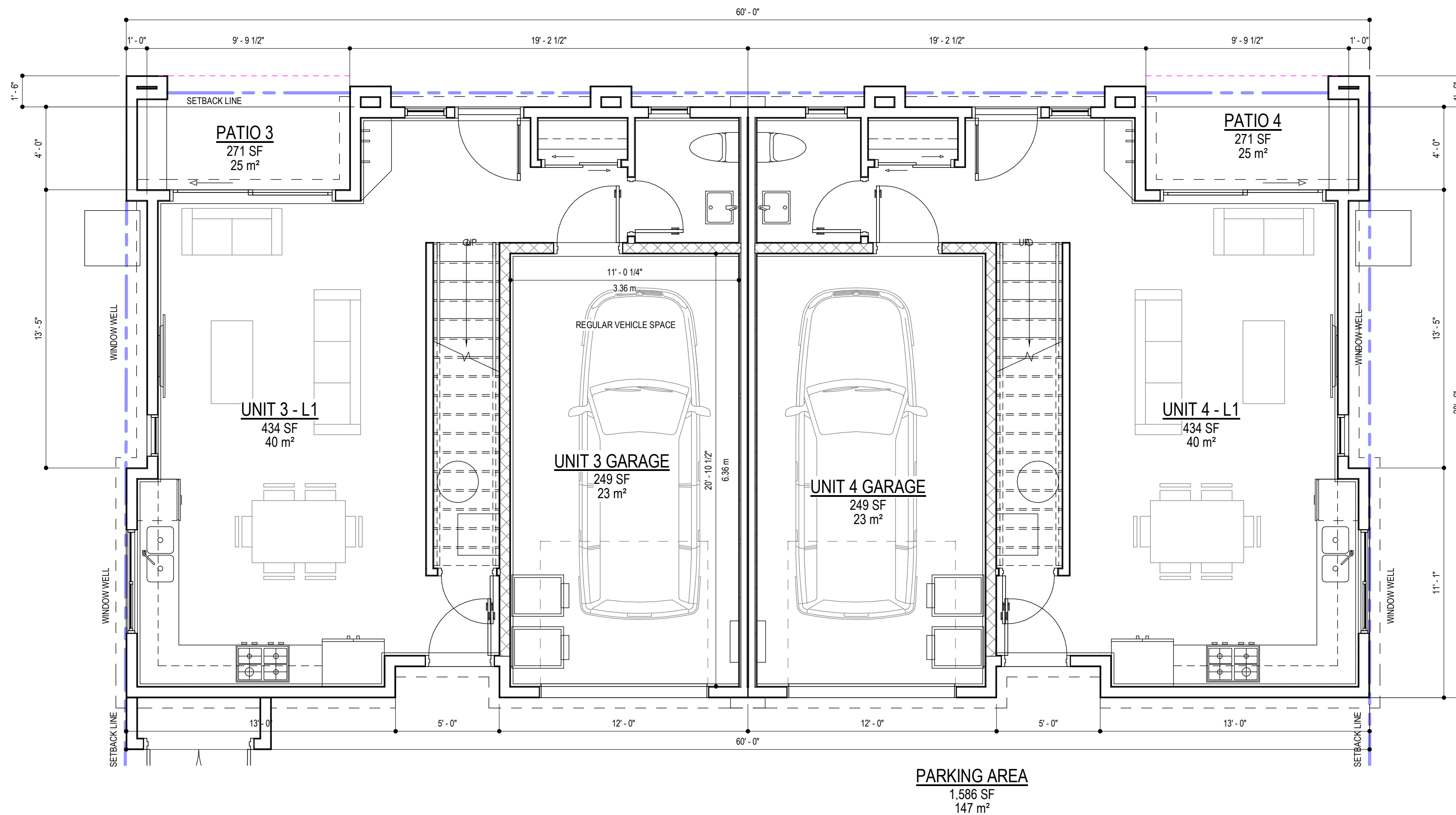
SITE PLAN & ZONING

775 MCCURDY RD, KELOWNA, BC, V1X 2P8
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Drawing Number

A2.01

Job No. 18 - 1816
Scale As indicated

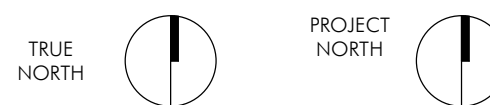


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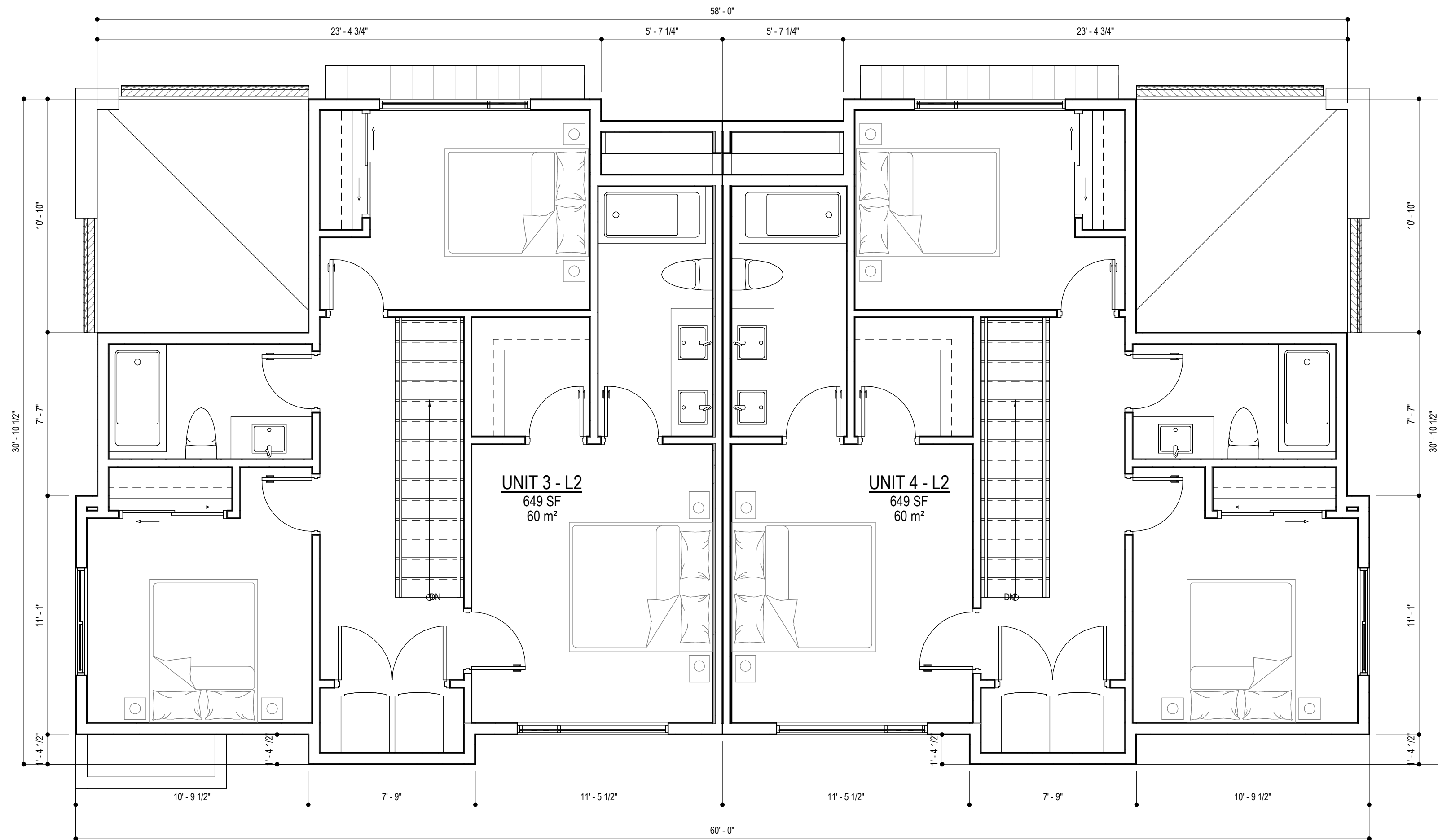
LEVEL 1 PLAN

775 MCCURDY RD, KELOWNA, BC, V1X 2P8
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Drawing Number

A3.01

Job No. 18 - 1816
Scale 1/4" = 1'-0"



curt_mitch@outlook.com
250-300-6888

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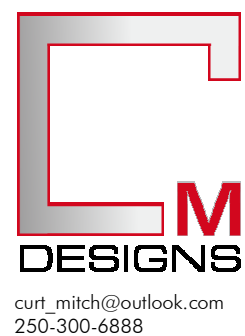
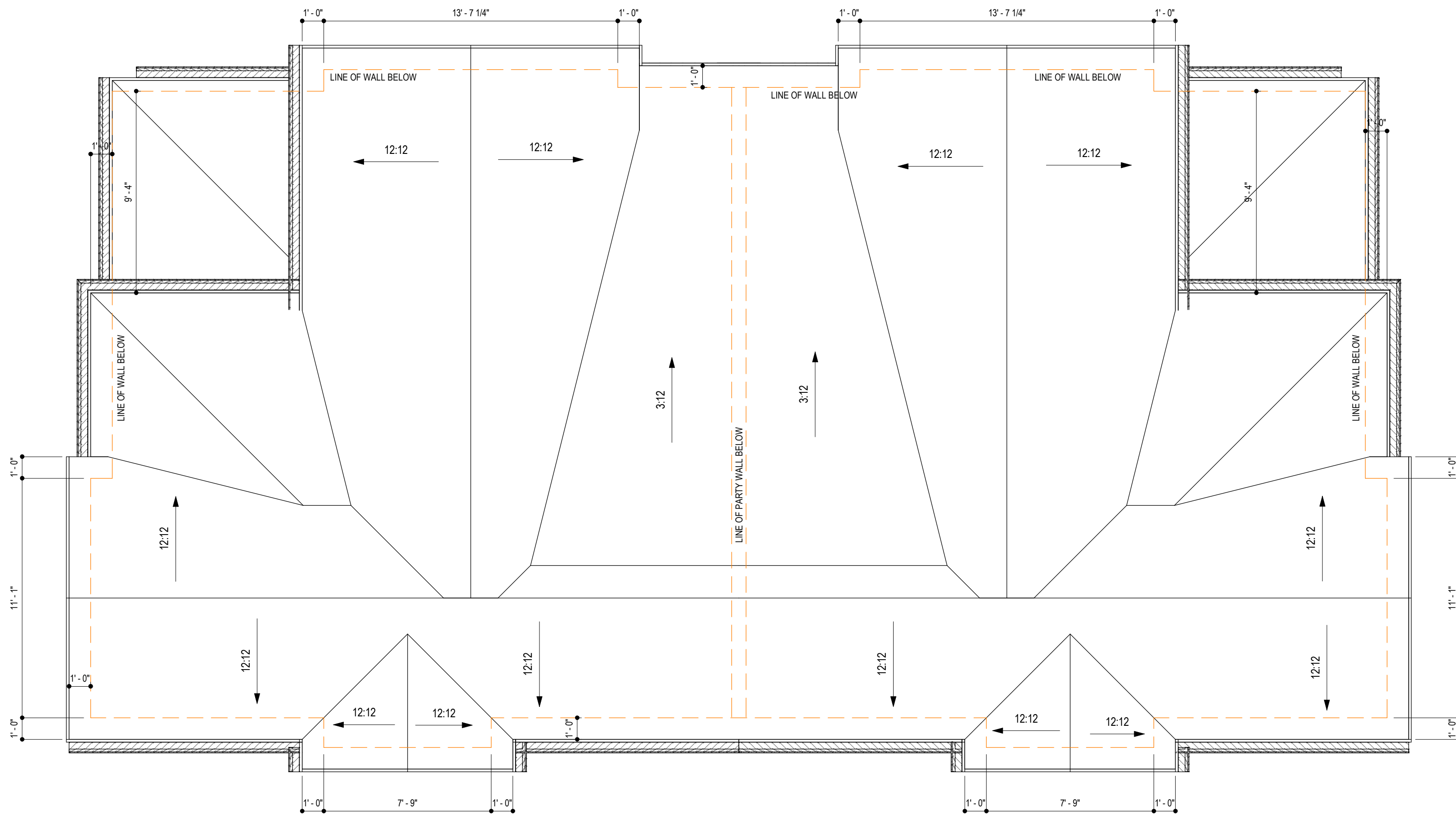
LEVEL 2 PLAN

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Drawing Number

A3.02

Job No. 18 - 1816
Scale 1/4" = 1'-0"



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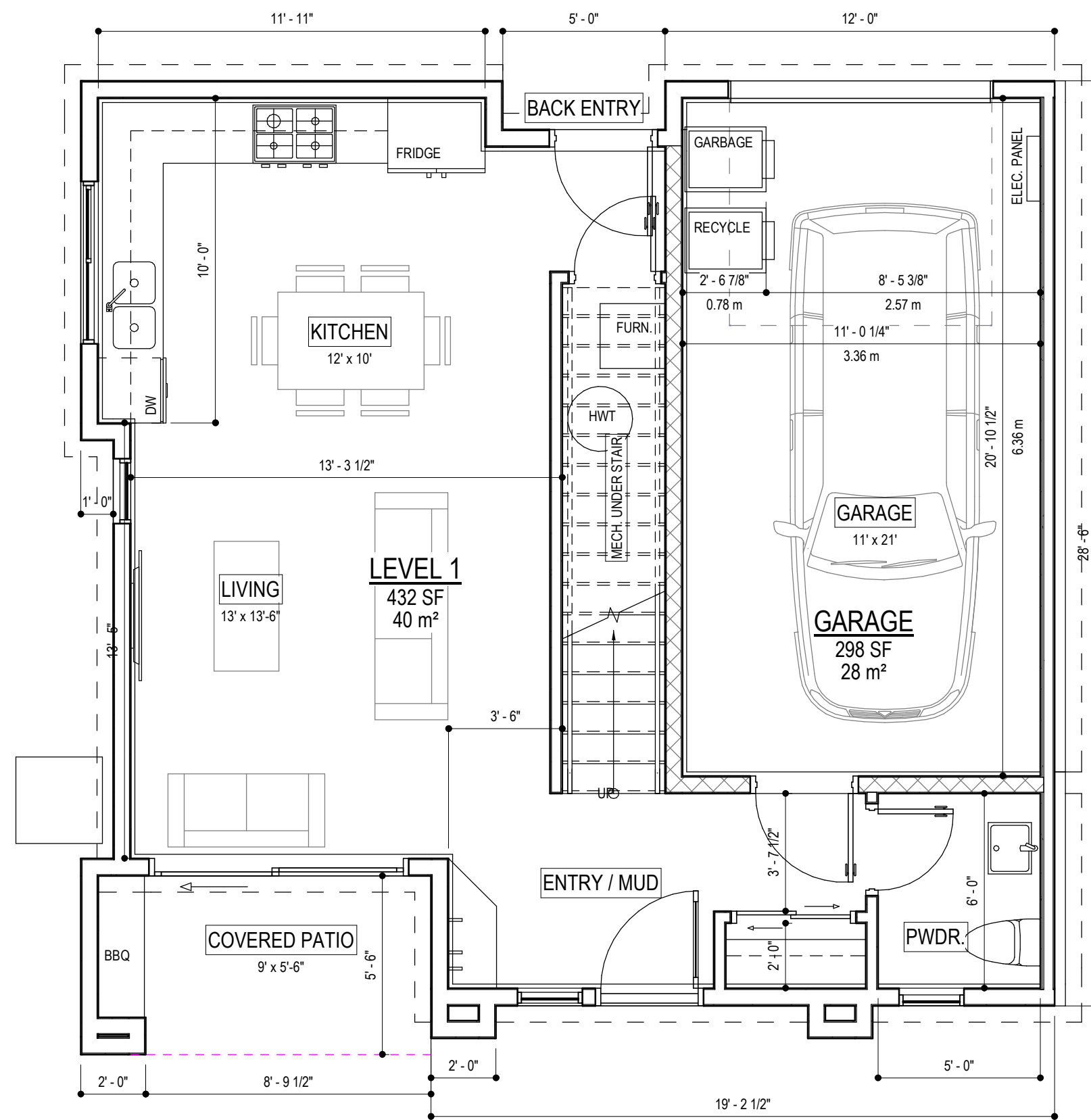
ROOF PLAN

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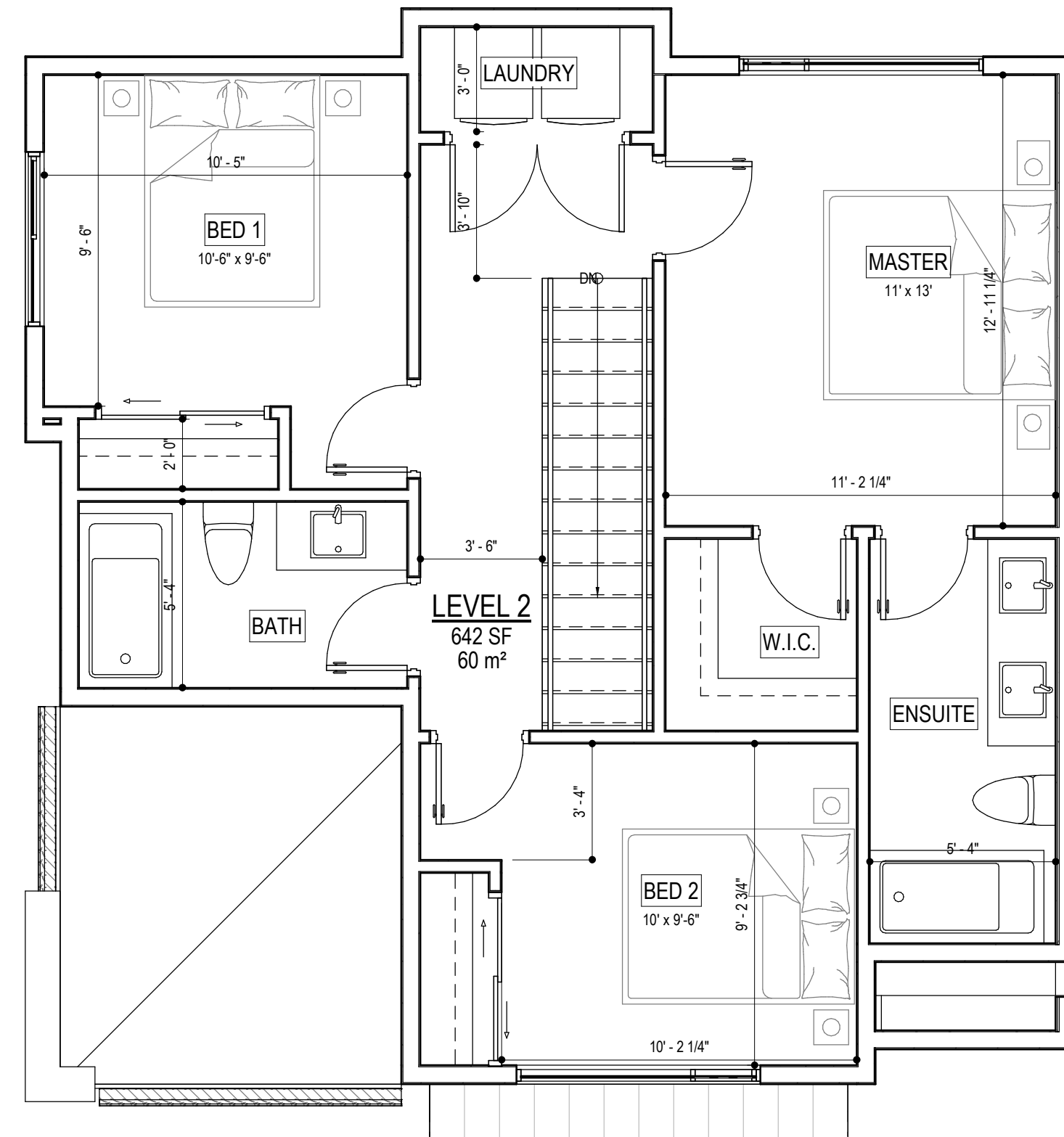
Drawing Number

A3.04

Job No. 18 - 1816
Scale 1/4" = 1'-0"



1 END UNIT - LEVEL 1
A3.05 1/4" = 1'-0"



2 END UNIT - LEVEL 2
A3.05 1/4" = 1'-0"



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Drawing Title
UNIT PLAN - LEVEL 1 +
LEVEL 2

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Drawing Number

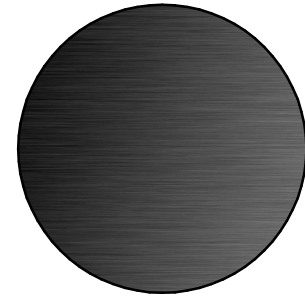
A3.05

Job No. 18 - 1816
Scale 1/4" = 1'-0"



ROOFING

MATERIAL: ASPHALT SHINGLE
LOCATION: ROOF



WINDOW AND DOOR TRIM

MATERIAL: POWDER COATED BLACK SHEET STEEL TRIM

LOCATIONS:
- EXTERIOR WINDOWS AND DOORS
- ROOF TOP GUARD RAIL
- METAL ROOF



EXTERIOR - MAIN 1

MATERIAL: IRON GRAY HARDIE PANEL C/W BOARD AND BATTEN

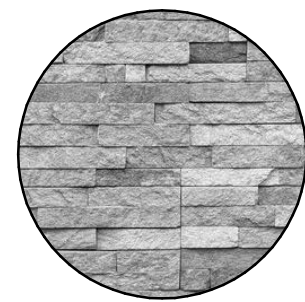
LOCATION: VARIOUS EXTERIOR WALLS



EXTERIOR - MAIN 2

MATERIAL: ARCTIC WHITE HARDIE LAP SIDING OR HARDIE BOARD AND BATTEN

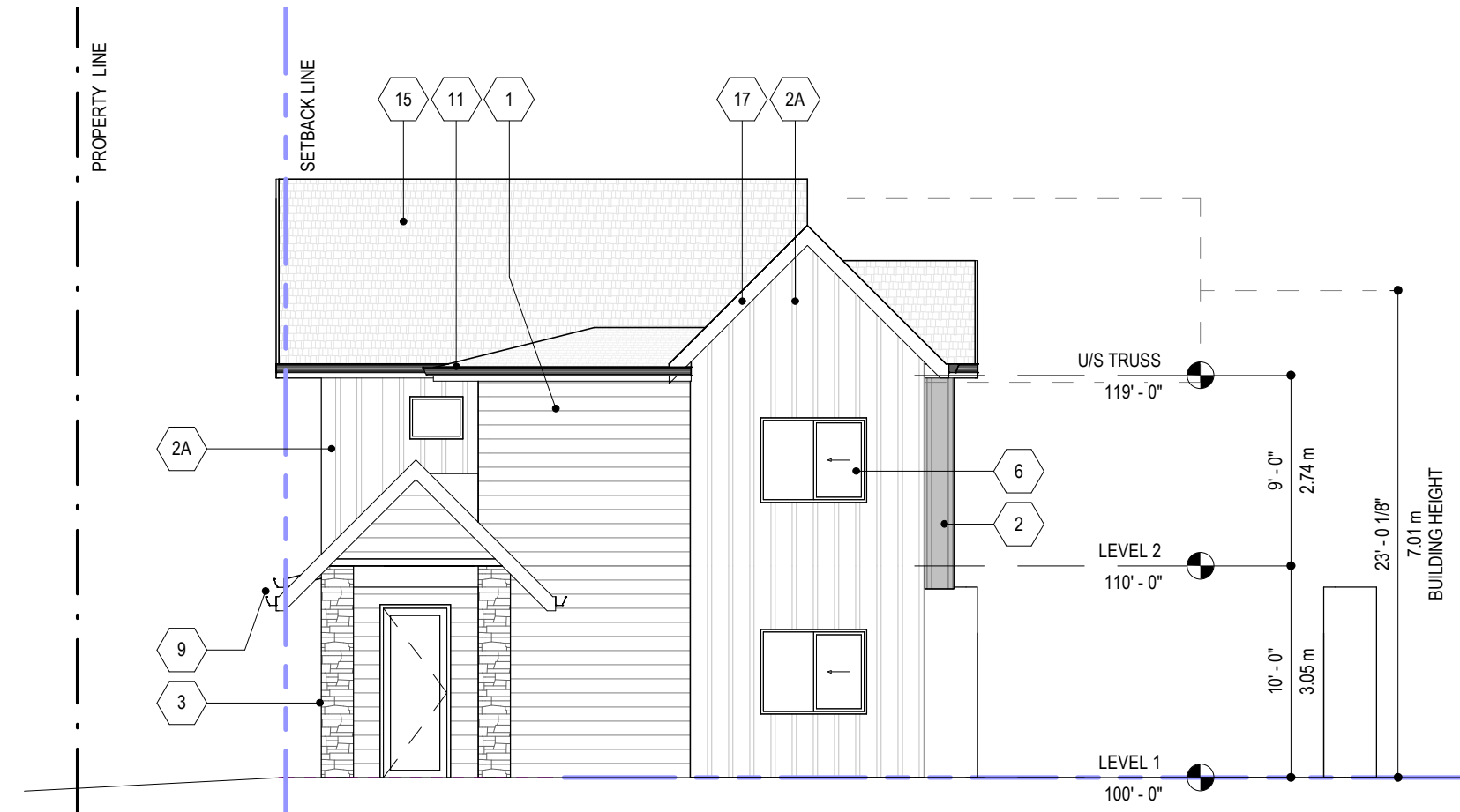
LOCATION: VARIOUS EXTERIOR WALLS



EXTERIOR - ACCENT

MATERIAL: THIN STONE VENEER

LOCATION: ENTRY



SPATIAL SEPARATION - RIGHT ELEVATION:

EXPOSED BUILDING FACE:	-
LIMITING DISTANCE:	2.4m / 2 = 1.2m
PERMITTED UPO (AREA - 9.10.14.4. - A):	-
PROPOSED UPO (AREA):	-
PROPOSED UPO (%):	-

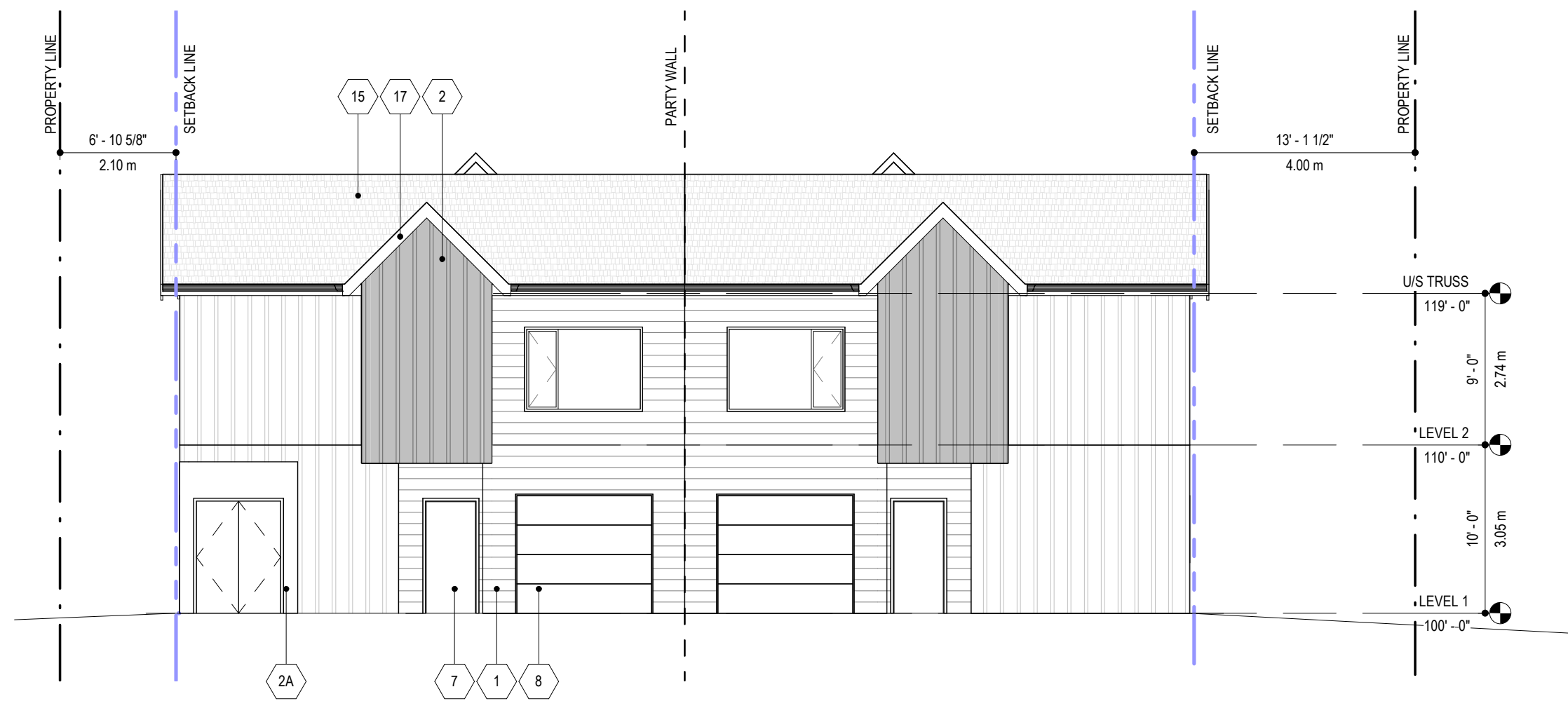
1 FRONT ELEVATION
A4.01 1/8" = 1'-0"

BUILDING ELEVATION KEY NOTE:

NOTES:

- GRADES ON SITE WILL REMAIN THE SAME AS THE LOT IS PARTICULARLY FLAT
- REFER TO SURVEY PLAN FOR DETAILED GEODETIC INFO

1	HARDIE LAP SIDING - BAYBOOTH BLUE	9	FEATURE ROOF - WOOD KNEE BRACES, 2x4 STRUCTURE, METAL ROOF
2	HARDIE BOARD AND BATTEN - GREY	10	GLASS GUARD RAIL
2A	HARDIE BOARD AND BATTEN - WHITE	11	ALUMINUM GUTTER OR DOWNSPOUT - PAINTED BLACK
3	THIN STONE VENEER - GREY	12	SLIDING GLASS DOOR
4	EXPOSED WOOD POST / BEAM	13	6' TALL WOOD PRIVACY SCREEN ON ROOF DECK
5	BLACK STEEL FLASHING / TRIM	14	EXTERIOR LANDSCAPE STAIR
6	VINYL WINDOW	15	BLACK ASPHALT SHINGLES
7	MAN DOOR	16	HARDIE PANEL C/W 1/2" REVEALS - DARK GREY
8	OVERHEAD DOOR	17	SMART TRIM FASCIA - ARCTIC WHITE



2 LEFT ELEVATION
A4.01 1/8" = 1'-0"



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FRONT AND LEFT ELEVATION, MATERIAL BOARD

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Drawing Number

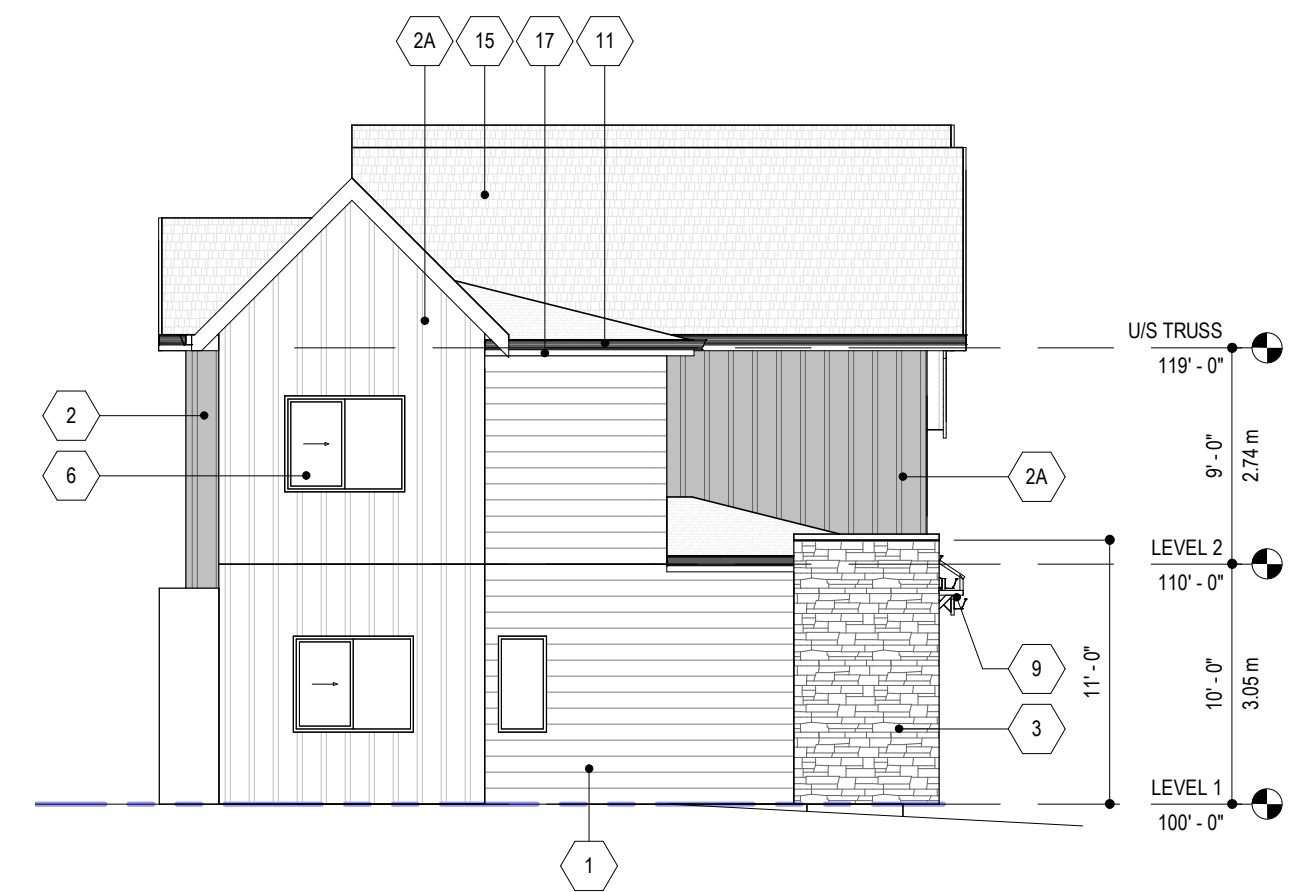
A4.01

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8	OVERHEAD DOOR	17	SMART TRIM FASCIA - ARCTIC WHITE



2 RIGHT ELEVATION
A4.02 1/8" = 1'-0"



1 REAR ELEVATION
A4.02 1/8" = 1'-0"



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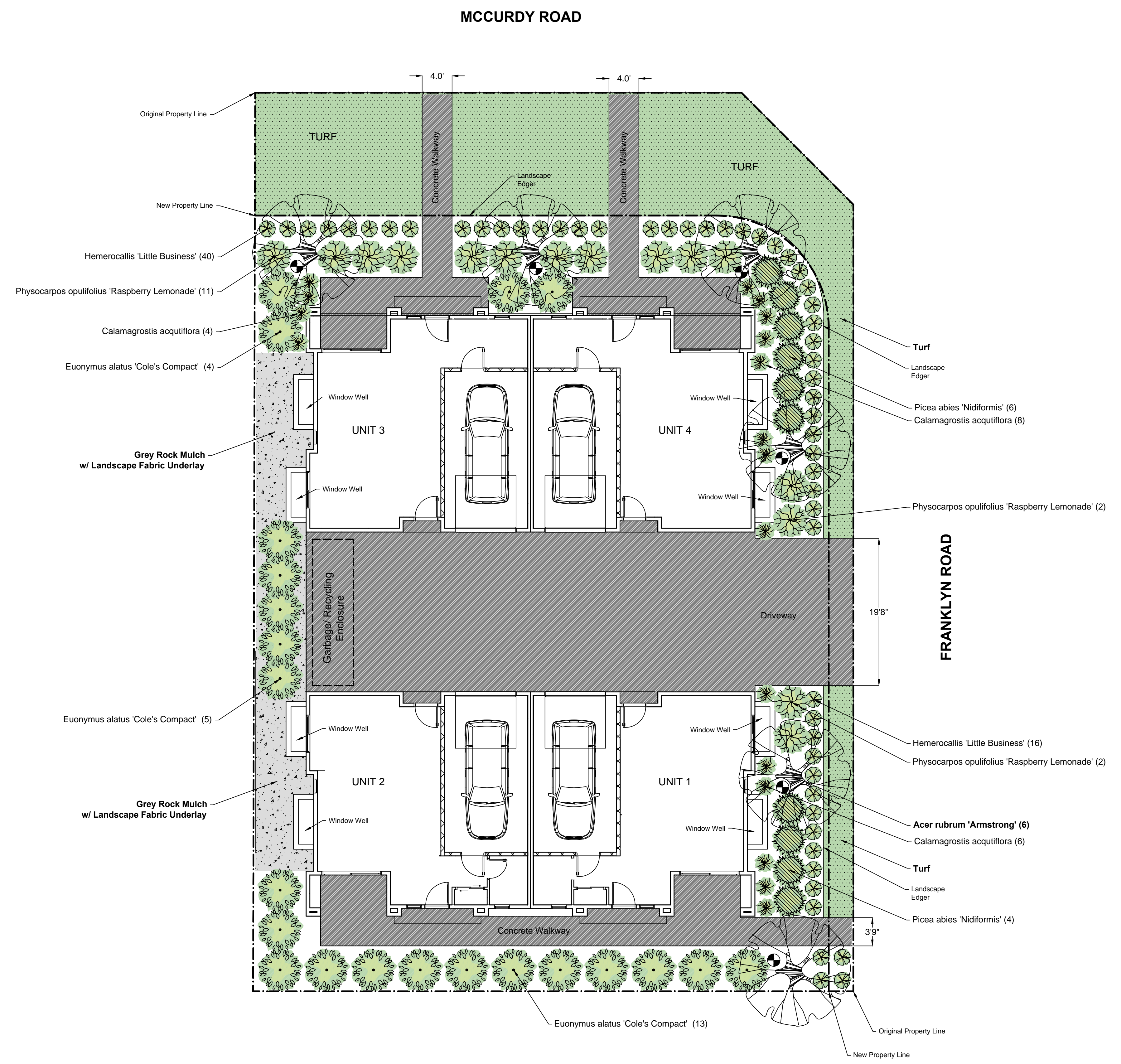
Drawing Title
REAR AND RIGHT ELEVATION

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A4.02

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Plant List

Qty	Botanical	Common	Size
6	Acer rubrum 'Armstrong'	Armstrong Maple	6Cm Cal Min
22	Euonymus alatus 'Cole's Compact'	Cole's Compact Burning Bush	#2
15	Physocarpus opulifolius	Raspberry Lemonade Ninebark	#2
10	Picea abies 'Nidiformis'	Nest Spruce	#2
18	Calamagrostis acutiflora	Feather Reed Grass	#2
56	Hemerocallis 'Little Business'	Little Business Dwarf Daylily	#1

- 6 Low Voltage Landscape Lighting

Notes:

- Planting beds to be dressed with dark grey rock mulch.
- Site to be watered with a fully automated irrigation system.
- Landscape lighting to be low voltage.
- All structures to have positive drainage.
- All materials and methods to conform to BCLNA standards.
- Landscape edger to be used wherever turf meets rock mulch.

